

## **EXHIBIT A**

### **Architectural Standards Rules, Procedures for Land Use**

#### **Section III. Exterior Requirements, Subsection 5) Exterior Siding or Sheathing and Trim**

It is critical that the design of the exterior siding, trim and finish system be congruent on all sides of the structure and that the design coordinates the material and detailing of all sides with the design of the front elevation (street side(s)). All types of natural wood solid sawn siding are allowed alone, as well as with stucco, stone and split faced or textured concrete masonry units. Alternative exterior materials will be considered on a case-by-case basis. Samples and specifications must be submitted for ASC evaluation. The ASC may impose restrictions as to the grade, design and area where certain materials may be used.

No type of plywood or sheet siding is allowed on any street side(s) or on any golf course side(s) where visible from the golf course. This includes the use of such siding with battens. On all other individual sides of the building, a maximum of 50% of the siding area may be plywood or sheet siding only to the extent that it is in harmony with the street/golf course view side(s) of the building, and it is appropriately coated or treated to minimize discoloration and deterioration.

**EXCEPTIONS:** Plywood or sheet siding exceeding the above 50% maximum may be allowed as an exception, on a case-by-case basis, on those sides not facing a street or the golf course only if: a) the design is in harmony with the street/golf course view side(s); and b) the plywood or sheet siding is properly coated or treated to minimize discoloration and deterioration.

Where the proposed project involves an addition to, or remodeling of, an existing structure, a determination must be made as to the extent of the new work. While the objective with a new project is a general reduction in the use of plywood siding, a less substantial addition/remodel should be allowed to maintain some congruity with the remainder of the structure. Where the amount of exterior surface (exterior walls) represented in the addition/remodel is 50% or more of the original exterior surface areas of the building, the revised siding rules should be applied. Where the new area (either addition or remodel) is less than this 50% threshold, the new rules need not be imposed.

## EXHIBIT B

### Siding Example (Photos) Approved

Approved

True Batten and Board (Real Wood) – front

Exception Breckenridge - side



## **EXHIBIT C**

### **ASC Meeting Minutes November 18, 2020**

#### **Unit 07, Lot 088**

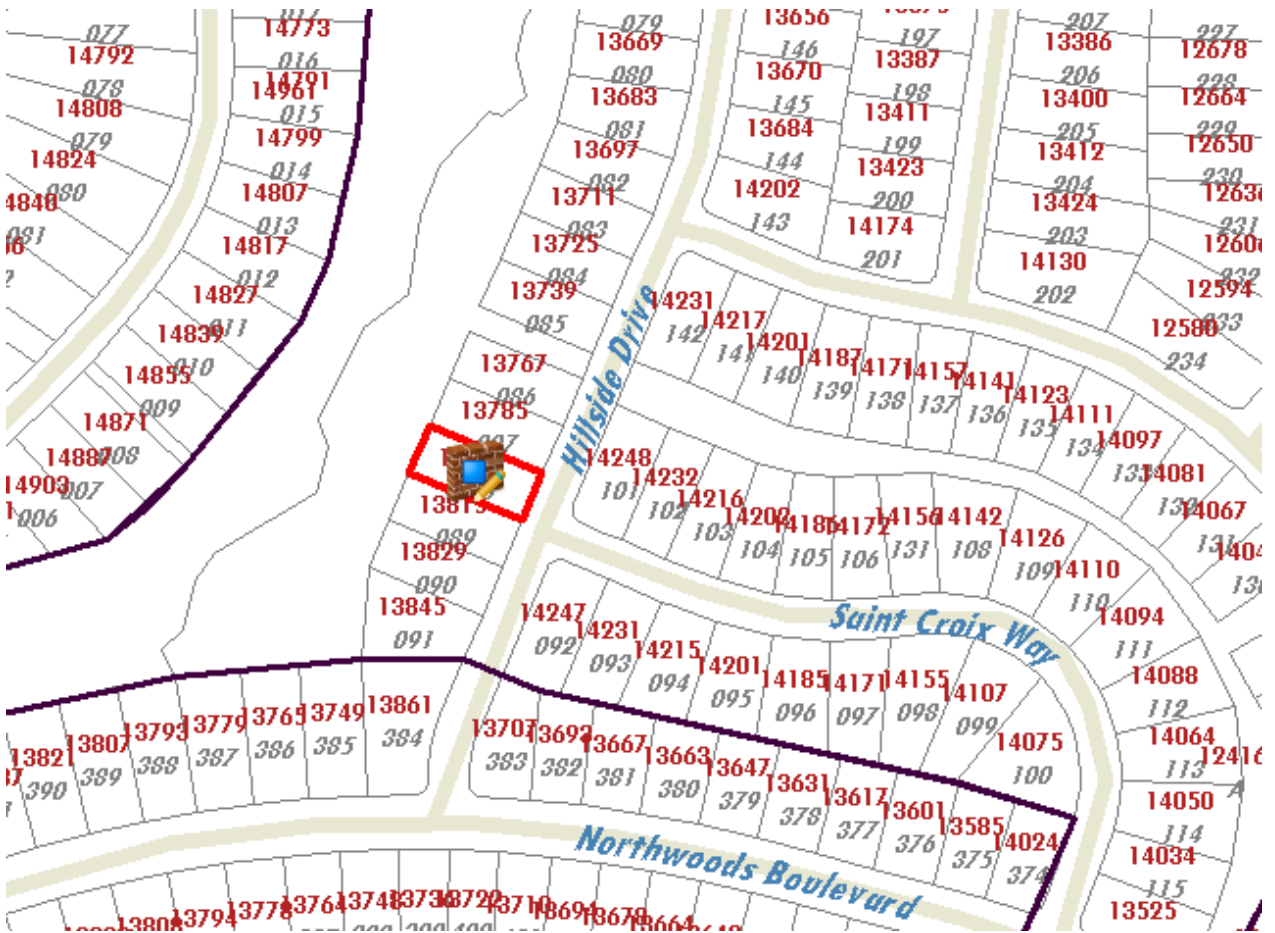
#### **Submittal: House/Garage 2485SF**

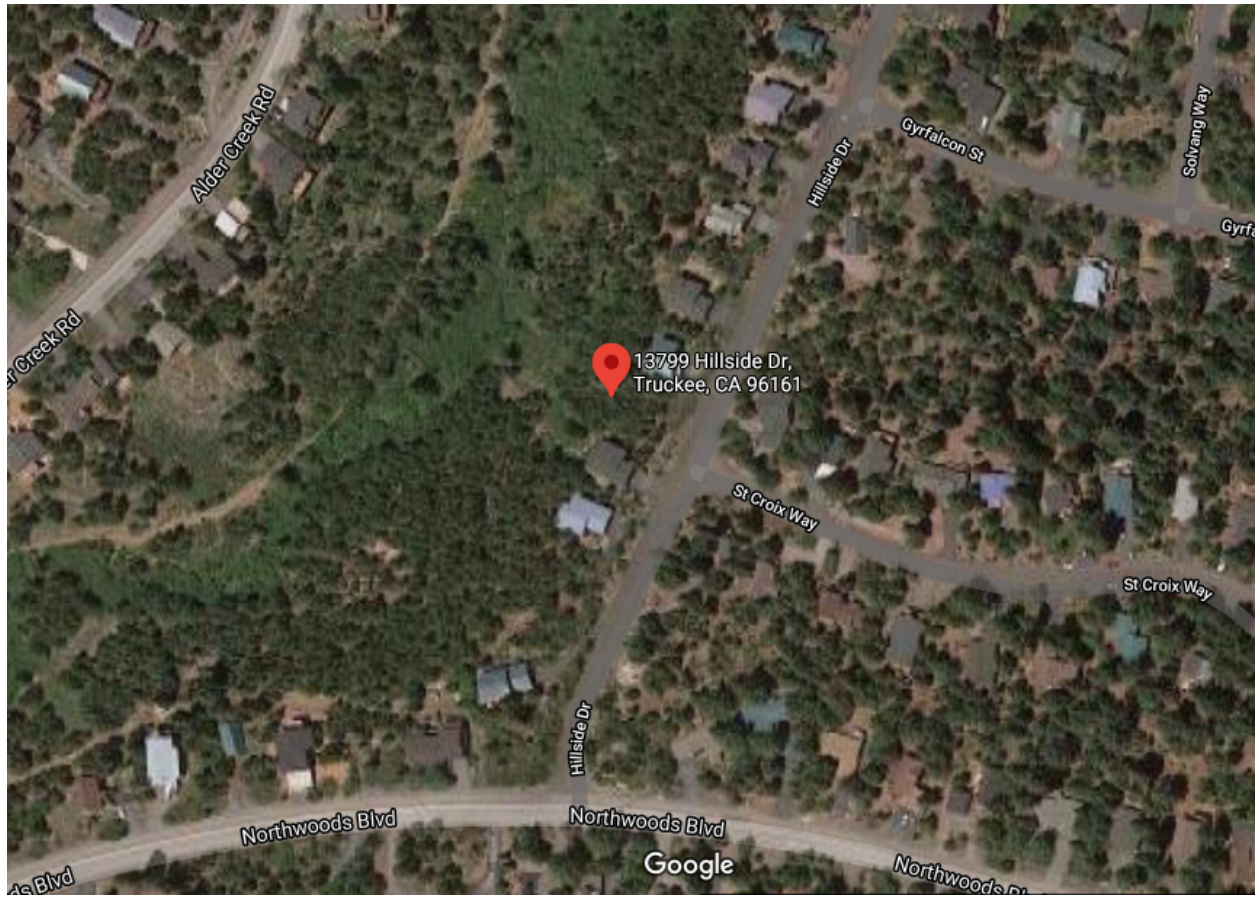
The owner was not present. The staff provided historical project information.

- The committee reviewed the site plan discussed the coverage percentage at 22%.
- The committee reviewed the proposed tree removal, the utility lines and noted the power will be underground. The committee reviewed the excess proposed tree removal and the trees more than 10ft from the foundation and 5ft from decks must be approved from the Forestry department. The committee agreed that the 9"P and 10"P on the left near the property line, the 11"P beyond the rear deck, and 9"F at the front right of the property are not approved to be removed by the committee.
- There was one neighbor comment from Lot 89 was present and requested attendance. The neighbor explained concerns with proposed tree removal including the 10" F in the left side setback. The committee explained that tree is within 10ft from the foundation of the house and can be approved to be removed with the project. The neighbor requested to flip the floor plan of the house to place the garage on the southern side of the property versus as proposed with the garage on the northern side. The neighbor also inquired about the new construction hours and project start date; however, without a site inspection conducted yet and with snow on the ground, it looks like it will be a spring start.
- The committee reviewed the exterior specifications, including the roofing, window materials and finish colors, were approvable as proposed. The committee reviewed the proposed siding exceeding 50% sheet siding on the rear elevation. The committee requires a revision to adjust the siding prior to permit issuance as the sheet siding exceeds 50% on the rear elevation and can be reviewed as a one-member weekly revision.
- The committee explained the light is approvable however suggest a warm color up to 3500K.
- The committee discussed the direct vent for the house to be shown on the elevation plan as a revision.
- A site inspection has not been requested.
- The deposit has been paid.
- The committee discussed the new Town of Truckee noise ordinance starting January 1, 2021 restricting construction hours beyond that of the Tahoe Donner construction hours.
- The committee explained if there is more than 2 ft of snow on the ground, special permission must be requested for use of heavy equipment.
- The committee explained that once the Certificate of Occupancy has been obtained through the Town of Truckee, a request for a final inspection must be submitted within 60 days.
- The committee stated the owners may appeal any decision to the Board of Directors.
- Action 3:0 (Whitten, Phelps, Hipkins). The project was conditionally approved based on a siding revision to reduce sheet siding below 50% on the rear elevation, adding the direct vent to the elevations, and an approved site inspection.]

**EXHIBIT D**  
**Project Maps, Plans**







NOTES:

ESTIMATED CUBIC YARDS TO BE REMOVED  
+ TO BE DETERMINED BY EXCAVATION CONTRACTOR +  
EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE  
EXISTING VEGETATION TO BE TRANPLANTED WHERE POSSIBLE  
TEMPORARY CONSTRUCTION ACCESS SHALL BE THE DRIVEWAY OF  
HOUSE VIEW CORRIDOR FROM FRONT OF HOUSE IS NONE  
ADDRESS SIGNS AND PORT-A-POTTI SHALL BE ON JOB SITE AT  
THE TIME OF FIRST INSPECTION

WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY  
A MINIMUM OF 36" OF EARTH COVERING. WATER SUPPLY PIPING  
SHALL BE PROVIDED WITH AN APPROVED BACKFLOW PREVENTION  
DEVICE. THE WATER SERVICE SHALL BE INSTALLED 24" BELOW  
GRADE AT LOCATION INSIDE THE FOUNDATION PERIMETER,  
EQUIPPED WITH A (STOP & DRAIN VALVE AND FITTED WITH  
HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL  
BE GRADED TO DRAIN. PLASTIC MATERIALS FOR WATER SERVICE  
PIPING OUTSIDE INTERGRADING SHALL HAVE A BLUE INSULATED  
COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR  
INSTALLED ADJACENT TO THE PIPING.

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT  
THE TIME OF FINAL INSPECTION SHALL BE HEATER OR SOIL  
BASED TO ADJUST IRRIGATION IN RESPONSE TO CHANGES IN  
PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.  
HEATER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS  
OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL  
RAINFALL SHALL HAVE A SEPARATE WETTER OR HANDESS RAIN  
SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE  
CONTROLLER. SOIL MOISTURE-BASED CONTROLLERS ARE NOT  
REQUIRED TO HAVE RAIN SENSOR INPUT. CALGREEN 4.5041

THE TOP OF CUT SLOPES AND/OR THE TOE OF FILL SLOPES SHALL  
NOT BE MADE NEARER TO A PROPERTY LINE THAN 1/3 OF THE  
VERTICAL HEIGHT OF CUT WITH A MINIMUM OF 2' AND A MAXIMUM  
OF 10'

PLANS DO SPECIFY AND DEMONSTRATE REQUIREMENT TO  
MAINTAIN FIRE BREAK. INSPECTION AND WRITTEN APPROVAL BY  
THE FIRE MARSHALL SHALL BE OBTAINED PRIOR TO FINAL OF THE  
BUILDING PERMIT.

EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON  
SITE

ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT  
ACCUMULATION OF DEBRIS

FILL/ CUT SLOPE SURFACES SHALL BE NO GREATER THAN 2 TO 1  
SLOPE

FINAL GRADE HILL SLOPE 5% FOR 10' AWAY FROM RESIDENCE

CROSS SLOPE DRIVEWAY 2% FOR DRAINAGE

6" CLASS II AGGREGATE BASE 1/4" A.C. ASPHALT ON DRIVEWAY

ALL FOOTINGS SHALL BE PLACED IN UNDISTURBED, NATIVE SOIL

ADDRESS SIGNS AND PORT-A-POTTI SHALL BE ON JOB SITE AT  
THE TIME OF FIRST INSPECTION

TEMPORARY CONSTRUCTION ACCESS SHALL BE THE DRIVEWAY OF  
HOUSE VIEW CORRIDOR FROM FRONT OF HOUSE IS NONE

ESTIMATED CUBIC YARDS TO BE REMOVED  
+ TO BE DETERMINED BY EXCAVATION CONTRACTOR +

EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE

EXISTING VEGETATION TO BE TRANPLANTED WHERE POSSIBLE

DEFENSIBLE SPACE NOTES

REMOVAL OF DEAD VEGETATION

REMOVAL OF LADDER FUELS

BREAKINGS UP DEBRIS SHED FIELDS

REMOVE OR KILL PINE FLAMMABLE VEGETATION  
AND COMESTIBLE GROWTH WITHIN 30' OF STRUCTURES

REMOVAL OF PINE NEEDLES FROM THE GROUND  
30' FROM HOUSE

LIMBING TREES 6' FROM THE GROUND

ROOFING TO BE CLASS "A" FIRE RESISTANT

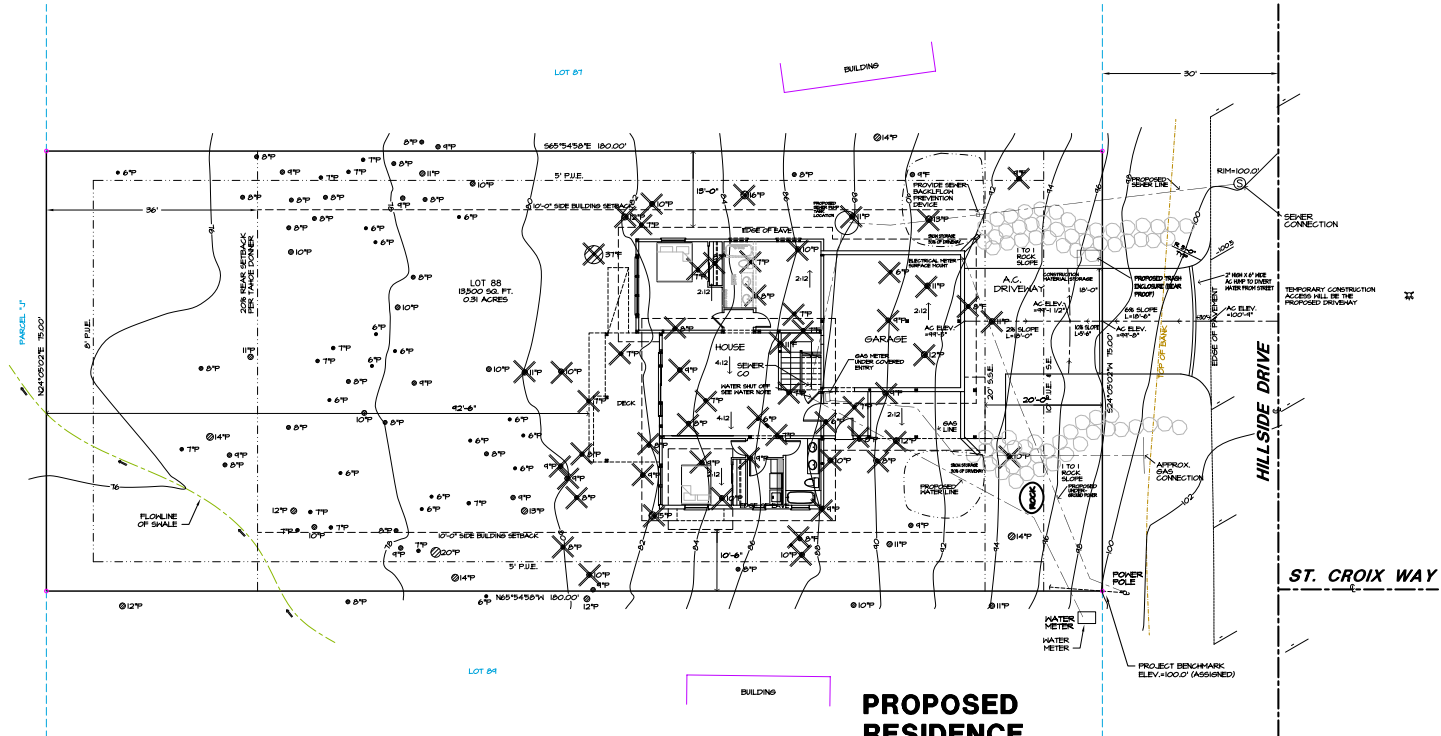
COMPACTION REPORT MAY BE REQUIRED WHERE TREES HAVE BEEN REMOVED IN FOUNDATION  
LINE. DISTURBED SOIL IN BEARING AREAS TO BE ADDRESSED

AREA CALC'S

BUILDING FOOTPRINT	=	1976 SQ. FT.
COVERED ENTRY, REAR DECK STAIRS & LANDINGS	=	440 SQ. FT.
DRIVEWAY	=	510 SQ. FT.
TOTAL COVERAGE	=	2934 SQ. FT.
TOTAL FOR LOT	=	13500 SQ. FT.
PERCENTAGE OF LOT COVERAGE	=	22%

THE AREA OF DISTURBANCE/LANDSCAPING  
MINUS THE BUILDING FOOTPRINT/DECKS/DRIVEWAY  
= 2170 S.F.

This project does not include landscaping. I am  
aware that future landscape installations may be  
required to comply with the Town of Truckee Water  
Efficient Landscape Ordinance requirements  
(Development Code Section 18.00.060).\*

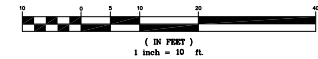


**PROPOSED  
RESIDENCE**  
GARAGE SLAB= 99'-6"  
UPPER FLOOR F.F. = 99'-10"  
LOWER FLOOR F.F.= 89'-10"

SITE PLAN

SCALE: 1" = 10'-0"

GRAPHIC SCALE



REVISIONS	BY

**LAKE  
TAHOE  
DESIGNS**  
P.O. BOX 9999  
TRUCKEE, CA. 96209  
707-552-2222

**STEWART RESIDENCE**  
LOT #68, TAHOE DONNER UNIT #7  
13799 HILLSIDE DR, HENRIETTA COUNTY, TRUCKEE, CA.  
APN 46-480-01

DATE: 1/18/20  
SCALE: 1" = 10'-0"  
DRAWN: CDC  
JOB: 2020-7  
STEWART

SHEET:  
**C1**  
OF SHEETS









NOTES

ALL APPROVED MATERIALS SHALL HAVE THE OFFICE OF THE STATE FIRE MARSHAL BUILDING MATERIALS LISTING PROGRAM LABELS.

WHERE ROOF PROFILE ALLOWS FOR SPACE BETWEEN THE ROOF COVERING AND DECK, THE SPACES SHALL PREVENT INTRUSION OF FLAMES AND SMOKE.

ATTC VENT (TYP) ENCLOSED ATTC & BATTEN SPACES SHALL HAVE CROSS VENTILATION BY OPENINGS EQUAL TO 1/100TH OF THE AREA.

ROOF VALLEYS - VALLEY FLASHING SHALL NOT BE LESS THAN 26 GAUGE SHEET METAL INSTALLED OVER A MINIMUM 56\"/>

PROVIDE GUARDRAILS AT FLOOR (WALKING SURFACE) LOCATIONS THAT ARE MORE THAN 30 INCHES ABOVE GRADE. RAILING HEIGHT MUST BE 42 INCHES MINIMUM WITH INTERSIVE ONLY SPACES 56\"/>

WEATHERED CEDAR FIRE SPREAD RATING 69 CLASS B

REDWOOD 10\"/>

WHITE FUR 10\"/>

ROOF GUTTERS SHALL BE PROVIDED WITH HEAVIS TO PREVENT ACCUMULATION OF DEBRIS.

WEATHERED CEDAR SIDING 7/16\"/>

REDWOOD FIRE PROTECTS INTERIOR SIDING 19\"/>

WEATHERED CEDAR SIDING & BATTEN - 7/16\"/>

EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH MIN. SOLID ROOF INSULATING BETWEEN JOISTS. AT ALL ROOF OVERHANGS.

EXTERIOR DOORS & GARAGE DOORS SHALL CONFORM TO IFM 12-79.11 OR IFM OF APPROVED NONCOMBUSTIBLE, OR SOLID CORE WOOD DOOR (MIN. 1 3/4\"/>

Greater than 50% Sheet Siding on Rear Elevation

STEWART RESIDENCE  
HILL SIDE DR TAHOE DONNER

40yr composition roofing @ 2/12 roof & 4/12 CLASS 1A

MSM metal soles - STANDING SEAM metal roofing @ DRP EDGE

double rough sawn cedar fascia 2x12 / 2x6 w/ metal drip edge

1X8 cedar board HORIZONTAL w 3/4\"/>

1X12 cedar board VERTICAL w 1x6 cedar batt @ 16\"/>

EXTERIOR GRADE PLWOOD W/ 1X6 CEDAR BATT @ 16\"/>

rough sawn cedar 1x6 & 1x4 window trim 1x6 corner trim flood stain - cedar - ebony

2X6 CEDAR TOP CAP 4\"/>

6x6 posts / 2x12 cedar fascia

MILGRO VINYL - BLACK

STONE WAINSCOT IN SELECT AREA'S SEE PERSPECTIVES

5% slope from foundation for 10ft min.

exterior lighting to be fully scheduled no light to leave property

ALL EXTERIOR LIGHTING MUST COMPLY W/ DEVELOPMENT CODE SECTION 18.30.060

EXPLODED CONCRETE AT THE FOUNDATION WALL SHALL BE MINIMIZED AS MUCH AS POSSIBLE, AND KEPT TO A MAXIMUM OF 8\"/>

Provide under-floor cross ventilation of 1.0 sq. ft. minimum for each 150 sq. ft. of under-floor area. When a Class 1 vapor retarder is installed on the ground surface the minimum area of ventilation may be limited to 1 sq. ft. for each 1,500 sq. ft. of under-floor space. One ventilation opening shall be within three (3) feet of each corner of the building. (CRC R408.1)

Unvented crawl spaces shall comply with CRC R408.3.

note direct vent appliances ext. terminals, gas vents etc. shall terminate above anticipated snow depth anticipated snow depth is the ground snow load divided by 25 ext. terminals and combustion air intakes shall not be located under decks which could be sealed off around the perimeter with snow accumulation

DIRECT VENT OFF ALL direct vent appliances ext. terminals, gas vents etc. shall terminate above anticipated snow depth anticipated snow depth is the ground snow load divided by 25 ext. terminals and combustion air intakes shall not be located under decks which could be sealed off around the perimeter with snow accumulation



WEST ELEVATION  
SCALE 1/4" = 1'-0"

Property	Proposed Exterior Specifications
Type of New Construction	new home
Living Space ft²	2485
Please list the name(s) of who will attend the ASC Meeting	bruce stewart
Who receives the deposit upon close of project?	bruce stewart
Secondary Unit Proposed	None
Roofing: Material, Mfr & Color Name	comp shingle,certanteed, Black
Roofing: Other Material(s), Mfr & Color Name	none
Roofing: Flashing, Vents, Chimney/Splitter: Mfr & Color Name	Black
Roof Fascia: Material (Incl Dimensions), Mfr & Color Name	cedar,2x12,super deck, canon brown.
Street View Siding: Material (Incl Dimensions), Mfr & Color Name	1x8 cedar, horizontal nickel gap, super deck, canyon brown .1st floor 1x12 cedar board and batt
Side Elevation Siding: Material (Incl Dimensions), Mfr & Color Name	1x8 cedar,horiz nickel gap,1st floor. plywood siding with 1x4 cedar batts.super deck, canyon brown
Rear Elevation Siding: Material (Incl Dimensions), Mfr & Color Name	1x8 horizontal cedar,nickle gap siding.1st floor. plywood with 1x4cedar batts. super deck,canyon brown
Belly Band: Material (Incl Dimensions) , Mfr & Color Name	cedar 2x12,super deck-canyon brown
Rock or Other Exterior Materials: Material Type & Mfr (or Source) & Color Name	Sierra Granite,rock garden
All Wallcaps, Vents, Metal Brackets, Boxes, etc.: Mfr & Color Name	ace-oxford brown
Foundation & Retaining Walls: Material, Mfr & Color Name	ace, oxford brown
Front Doors & Other Access Doors: Material(s), Mfr & Color Name	Front door,Knotty alder w/virt panels 3- lines at top. super deck natural.
Garage Door: Material(s), Description, Mfr & Color Name	custom cedar sided with 3 windows across top.super deck -canyon brown
Window Frame: Material, Mfr & Color Name	composit,andrson,black
Corner Trim: Material (Incl Dimensions), Mfr & Color Name	1x4 cedar,superdeck-canyon brown
Door Trim: Material (Incl Dimensions), Mfr & Color Name	1x4 cedar, super deck, canyon brown
Window Trim: Material (Incl Dimensions), Mfr & Color Name	1x4 cedar, super deck-canyon brown
Deck Top Rail: Material (Incl Dimensions), Mfr & Color Name	d.f. 3x8, super deck canyon brown
Deck Pickets: Material (Incl Dimensions), Mfr & Color Name	woven wire mesh 4x4,powder coated brown
Deck Posts: Material (Incl Dimensions), Mfr & Color Name	D.F 6x6,super deck-canyon brown
Deck Bottom Rail: Material (Incl Dimensions), Mfr & Color Name	D.F 3x6,super deck, canyon brown
Deck Boards: Material (Incl Dimensions), Mfr & Color Name	cedar 2x6,superdeck-canyon brown
Deck Hardware & Footings (Bolts, Brackets, Concrete Piers): Stain/Paint Mfr & Color	ace -Oxford brown
Exterior Lighting: Are You Adding New Exterior Lighting?	Yes (if yes a cut sheet is required please upload as pdf)
Exterior Lighting: Mfr, Model # & Color Name	Hinkly, wall light,1326bk-LL, led Bronze
Exterior Lighting: Glass Type	Bubbled
Exterior Lighting: LED	Yes
ARGCE: Is Exemption Requested?	No
ARGCE: Location on Property	Private Property
ARGCE: Color	Brown
ARGCE: Mfr, Material(s)	Backer Bin,Steel-Brown
Solar Panel Installation	No
Hot Tub: Location on Property	none
Air Conditioner/Generator: Type of Improvement	None

## **EXHIBIT D**

**DECISION LETTER  
ARCHITECTURAL STANDARDS COMMITTEE**

**DATE: December 7, 2020  
PERMIT: 20-0614-P**

Bruce E Stewart, Carolyn J Stewart  
**Redacted**

Re: Unit: 07 Lot: 088 - 13799 Hillside Dr

Dear Property Owner(s);

On Wednesday, November 18, 2020 the Tahoe Donner<sup>SM</sup> Architectural Standards Committee (ASC) reviewed the submitted project for the above-mentioned property.

Following are the advisories and comments Architectural Standards Committee:

**Decision: Unit 07, Lot 088**

**Submittal: House/Garage 2485SF**

The owner was not present. The staff provided historical project information.

- The committee reviewed the site plan discussed the coverage percentage at 22%.
- The committee reviewed the proposed tree removal, the utility lines and noted the power will underground. The committee reviewed the excess proposed tree removal and the trees more than 10ft from the foundation and 5ft from decks must be approved from the Forestry department. The committee agreed that the 9"P and 10"P on the left near the property line, the 11"P beyond the rear deck, and 9"F at the front right of the property are not approved to be removed by the committee.
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- The committee reviewed the exterior specifications, including the roofing, window materials and finish colors, were approvable as proposed. The committee reviewed the proposed siding exceeding 50% sheet siding on the rear elevation. The committee requires a revision to adjust the siding prior to permit issuance as the sheet siding



exceeds 50% on the rear elevation and can be reviewed as a one-member weekly revision.

- The committee explained the light is approvable however suggest a warm color up to 3500K.
- The committee discussed the direct vent for the house to be shown on the elevation plan as a revision.
- A site inspection has not been requested.
- The deposit has been paid.
- The committee discussed the new Town of Truckee noise ordinance starting January 1, 2021 restricting construction hours beyond that of the Tahoe Donner construction hours.
- The committee explained if there is more than 2 ft of snow on the ground, special permission must be requested for use of heavy equipment.
- The committee explained that once the Certificate of Occupancy has been obtained through the Town of Truckee, a request for a final inspection must be submitted within 60 days.
- The committee stated the owners may appeal any decision to the Board of Directors.
- Action 3:0 (Whitten, Phelps, Hipkins). The project was conditionally approved based on a siding revision to reduce sheet siding below 50% on the rear elevation, adding the direct vent to the elevations, and an approved site inspection.

**Please make an appointment to submit the required items no later than 120 days from the date of this letter.**

**PLEASE NOTE:** You are required to ready the lot for inspection and request your site inspection as soon as weather permits in the spring. An inspection on 11/24 was conducted and the front right pin was not exposed.

**PLEASE NOTE:** No excavation, tree removal or construction of any type may proceed prior to the issuance of an Architectural Standards permit. Any violations of this rule will result in the assessment of a fine as well as legal proceedings to compel compliance with the Covenants and Restrictions and Rules.

**PLEASE NOTE:** When plans are invalidated, the site must be inspected to ensure there has been no alteration of the lot. If the lot has been altered in any way, the site must be returned to its natural condition prior to the refund of any deposit money and unused inspection fees. *The administration fee which accompanied the permit application is non-refundable.*

**PLEASE NOTE:**

- Any attachments to trees are not allowed.
- Owners are reminded that ARGCEs placed beyond 28' from the pavement edge of the roadway may incur a weekly surcharge to be determined by the disposal company.

- Any exposed metal and plastic shall be painted to harmonize with the structure's principal color.
- Any exposed concrete more than 6" above grade must be painted or stained to blend with the principal exterior color.
- The driveway maximum is 20' in width at the front property line.
- All boundary markers and property line strings must be in place and plainly visible at time of final inspection.
- All construction site driveways must be treated so as to minimize mud and/or dirt being tracked onto the roadway. 3" of gravel would be considered an acceptable treatment.

**PLEASE NOTE:** During winter months, clearing of snow from a building site with heavy equipment will not be allowed except under special circumstances with the discretion of the ASC. The parcel must be reasonably clear of snow (less than 2') to avoid any damage to native vegetation, and any such damage, other than where approved, may result in a fine. Caution is urged at all times.

**CONSTRUCTION HOURS:**

*The Town of Truckee has a new noise ordinance starting January 1, 2021 restricting construction hours beyond that of the Tahoe Donner construction hours.*

*Construction. Noise sources associated with construction, repair, remodeling, or grading of any real property; provided a permit has been obtained from the Town as required; and provided said activities do not take place between the hours of 7:00 p.m. and 7:00 a.m. on weekdays, between the hours of 5:00 p.m. and 8:00 a.m. on Saturdays, or at any time on Sunday or a federal holiday.*

*Please see the Town of Truckee website for more information:*

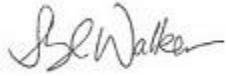
<https://www.townoftruckee.com/home/showdocument?id=20356>

Tahoe Donner Construction Hours effective to 12/31/2020: 7am to 7pm Monday through Friday and 8am to 7pm Saturdays, Sundays, and Holidays. For this provision, recognized holidays are January 1st, Presidents Day, Memorial Day, 4th of July, Labor Day, Thanksgiving Day, and Christmas Day.

If you choose to appeal the ASC decision, you do retain the option to schedule a hearing with the Appeal Board (Board of Directors) to further discuss this matter. At your hearing, the Appeal Board will review your appeal. **You may obtain an Appeal package from the Architectural Standards Office (ASO). The request for the Appeal package must include a written statement and be requested and returned to the ASO within 15 days following receipt of this letter.**

If you elect to schedule an appeal or if you have any questions, please contact the Architectural Standards Office at (530) 587-9407 or [aso@tahoedonner.com](mailto:aso@tahoedonner.com).

Sincerely,



Sheryl Walker  
ASO Office Manager  
Architectural Standards Office

## **EXHIBIT E**



This is a Request for Appeal from a Decision of the Following Committee: Architectural Standards

#### COMMITTEE DECISION INFORMATION

#### SUBJECT PROPERTY

Unit 7  
Lot 13799 hillside

#### APPELLANT INFORMATION

Property Owner Name Requesting Appeal bruce Stewart

Mailing Address Redacted

Primary Contact Phone Redacted

Home Phone Redacted

#### APPEAL HEARING

Name of owner(s) or designee(s) to appear at the hearing: BRUCE STEWART

na

Attached is a written statement why I believe I have a basis for appeal. I understand that all decisions of the Appeal Board shall be final and binding.

Date Feb 25, 2021

Draw your signature into the box below.

BRUCE STEWART

#### Reason for Appeal/Additional Comments:

I would like to request the committee reconsider the 50% sheet siding rule on the back elevation of my home. Upon reviewing page 12 of the ASC rules this clearly states an exception is allowed when not in view from the street or golf course.

February 26, 2021

Dear ASC Board members,

I am writing to appeal to the board to consider the siding exception noted on page 12 of the ASC rules. I am building this home as my primary residence and prefer this siding look on my home. Being able to afford this house is a major concern for me. Any changes from this design will cost additional money and jeopardize the viability of the project.

I have built 3 homes in Tahoe Donner in the last 5 years. All 3 of these homes have been board approved with this exact siding scenario. Please review the exception language on page 12 of the ACS rules and consider the following:

1. The rear elevation cannot be seen from the street or golf course by the public.
2. The siding is harmonious and congruent with the house design.

Thank you for your consideration. I look forward to hearing from you regarding this matter.

Best wishes,

A handwritten signature in black ink, appearing to read "Bruce Stewart", with a long horizontal flourish extending to the right.

Bruce Stewart